

## ORDINANCE NO. 60 G

### AN ORDINANCE ADOPTING TECHNICAL CODES AND

#### SUPPLEMENTAL PROVISIONS

WHEREAS, This ordinance of the Town of Dauphin Island, Alabama adopts technical codes regulating and governing the construction, alteration, repair, conditions and maintenance of all property, buildings and structures; by providing the standards for supplied utilities, systems and facilities and other physical things and conditions essential to ensure that structures are safe, sanitary and fit for occupation and use; and the condemnation of buildings and structures unfit for human occupancy and use and the demolition of such structures in the Town of Dauphin Island, Alabama; provides for the issuance of permits and collection of fees therefore;

NOW IT BE ORDAINED by the Town Council of the Town of Dauphin Island, Alabama as follows:

Section 1. That SECTION 42-41. Of the Town of Dauphin Island, Alabama Code of Ordinances is amended to read as follows:

#### Sec. 42.41. Technical Codes

Pursuant to the provision of 11-45-8, Code of Alabama, 1975 11-45-8 (as amended), the following rules and regulations which have been printed as a code in book or pamphlet form, copies of which are on file in the offices of the Building Official, Town Clerk are hereby adopted as rules and regulations in, of and for the Town with the additions, insertions, deletions and changes, if any, as prescribed.

- (a) The 2018 International Building Code including Appendix Chapters I and K as published by the International Code Council, be and is hereby adopted as the Building Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

The 2018 Coastal Construction Supplement attached hereto is hereby adopted as an appendage to the International Building Code for design and construction of structures within the Town of Dauphin Island, in the State of Alabama.

Section 101.1. Insert: Town of Dauphin Island, Alabama

Section 105.1.1 Delete in its' entirety

Section 105.1.2 Delete in its' entirety

Section 105.2 Delete item's 1 - 13 in its entirety

Section 105.3.2 Insert: "There will be a \$50 charge for extensions granted for permit applications in accordance with Section 105.3.2.

Section 105.5 Insert: "A minimum of one inspection must be requested within this 180 day period."

Section 105.5 Insert: "There will be a \$100 charge for extensions to permits in accordance with Section 105.5."

Section 107.2 Insert: "All construction documents shall be prepared by an architect or engineer registered in the state of Alabama and shall be signed and sealed as required by law."

Section 107.2.5 Insert: "All setbacks, easements and buffers are the direct responsibility of the builder or homeowner and not the responsibility of the building department or the Town of Dauphin Island, Alabama. Therefore, on all structures moved to or constructed upon any properties within the corporate limits of the Town of Dauphin Island, a spot survey prepared by an Alabama-licensed surveyor must be submitted to the building department upon completion of pile supports on the first level. For slab supported structures this shall be a "Form Board" or "As staked" survey done prior to concrete placement. This survey shall account for the proposed outside dimensions of building(s), accounting for wall thickness, band placement, or pile cap and slab placement. Dimensions are required from all lot lines. The survey shall depict grade elevations and proposed elevations of the lowest finished floor. Assumed elevations may be used if construction does not require an elevation certificate. Further building construction shall cease until the requirements of this paragraph are met. IF an elevation certificate is required in accordance with Article III, it will have to be verified and amended for finished construction."

Section 107.3.1 Insert "All commercial and residential structures moved to or constructed within the corporate limits of the Town of Dauphin Island shall have the finished floor elevation (FFE) of any enclosed space two foot above the average centerline of the nearest paved or public street, or be in accordance with Article III FLOOD DAMAGE PREVENTION, and any revisions thereto, whichever is greater. The two-foot above centerline requirement may be adjusted or waived in writing by the Building Official due to obvious or unusual site conditions that would make strict application of this section impractical."

Section 109.3 Insert: "For new construction, the valuation used to determine the applicable fees shall be calculated from the most current version of the Town Ordinance #63-B."

Section 109.6 Insert: "The policy for applications and permits issued in accordance with this Code is as follows: Plans Review Fees, Issuance fees, Data Processing fees and penalties are non-refundable. Permits that expire in accordance with Section 105.5 prior to commencement of any work may, upon written request, be granted a refund for the permit fee less a \$100 administration fee; no refund will be given where work on the permit has commenced."

Section 1107.4 Exceptions Insert: 3. Thresholds at exterior balcony doorways.

Section 1609.1.2 Delete Exception 1.

Section 1609.3 Delete it in its entirety

Section 1612.3 Insert: Dauphin Island, Alabama and incorporated area

Section 1612.3 Insert: July 17, 2007

Section 1613 Delete in it's entirety

Section 1401-1402 Existing Building Code

Insert: "All commercial or residential structures relocated or moved to be utilized in a different location must be in compliance with all existing, adopted building, plumbing, electrical and mechanical codes and standards. The owner of the structure shall provide proof that the

structure was permitted and constructed under the Building Code edition referenced in Section 1 of this ordinance. The owner must also submit a letter showing that the structures has been inspected and found by a duly licensed professional pest service to be free of termites. The structure must be set on the permanent foundation within 30 days of being placed onto the lot or the moving permit becomes void. For plumbing, mechanical, electrical and gas installations not permitted in accordance with the code edition referenced in Section 1 of this Ordinance, the owner may agree to make all necessary improvements required in order for said installations to comply with this ordinance within 30 days from the date of issuance of the moving permit. An additional one-time extension of 30 days may be granted by the building official after payment of an additional moving fee. Failure to complete improvements under this section will be subject to penalties as provided by law. Proof of compliance with this section will be a Certificate of Completion issued by the building official upon successful final inspection.

EXCEPTION:

These requirements shall not apply to structures relocated within a platted lot for the purpose of correcting a non-conformity in regards to setbacks or elevation.”

- (b) The 2018 International Residential Code including Appendix Chapters, E,G,H,J,M and Appendix P as revised, as published by the International Code Council, be and is hereby adopted as the Residential Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

The 2018 Coastal Construction Supplement attached hereto is hereby adopted as an appendage to the International Residential Code for design and construction of structures within the Town of Dauphin Island, in the State of Alabama.

Section R101.1. Insert: Town of Dauphin Island, Alabama

Section R105.2 item 1 Delete in its' entirety

Section R105.2 item 2 Delete “not over 7 feet (2134mm) high”

Section R105.2 item 3 Delete in its' entirety

Section R105.3.2 Insert: “There will be a \$50 charge for extensions granted for permit applications in accordance with Section R 105.3.2”

Section R105.5 Insert: “A minimum of one inspection must be requested within this 180 day period.”

Section R105.5 Insert: “There will be a \$100 charge for extensions to permits in accordance with Section R105.5.”

Section R106.1 Insert: “Structural portions of construction documents shall be prepared by an architect or engineer registered in the state of Alabama and shall be signed and sealed as required by law.”

Exception: 1) Additions of not more than 50% of the area under roof or 1000sf whichever is less, may be constructed in accordance with the most recent edition of ICC 600 STANDARD FOR RESIDENTIAL COSNTRUTION IN HIGH WIND REGIONS without engineered drawings.

2) Accessory buildings not exceeding 1,000 sq ft may be constructed in accordance with ICC 600 STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS without engineered drawings.”

Section R106.2 Insert “All residential structures moved to or constructed within the corporate limits of the Town of Dauphin Island shall have the finished floor elevation of any enclosed space two feet above the average centerline of the nearest paved or public street, or be in accordance with Article III FLOOD DAMAGE PREVENTION, and any revisions thereto, whichever is greater. The two feet above centerline requirement may be adjusted or waived in writing by the Building Official due to obvious or unusual site conditions that would make strict application of this section impractical.

Section R106.2 Insert “All setbacks, easements and buffers are the direct responsibility of the builder or homeowner and not the responsibility of the building department of the Town of Dauphin Island, Alabama. Therefore, on all structures moved to or constructed upon any properties within the corporate limits of the Town of Dauphin Island, a spot survey prepared by an Alabama-licensed surveyor must be submitted to the building department upon completion of pile supports on the first level. For slab supported structure this shall be a “form Board” or “As Staked” survey done prior to concrete placement. This survey shall account for the proposed outside dimensions of building(s), accounting for wall thickness, band placement, or pile cap and slab placement. Dimensions are required from all lot lines. The survey shall depict grade elevations and proposed elevations of the lowest finished floor. Assumed elevations may be used if construction does not require an elevation certificate. Further building construction shall cease until the requirements of this paragraph are met. If an elevation certificate is required in accordance with Article III it will have to be verified and amended for finished construction.”

Section R108.3 Insert: “For new construction, the valuation used to determine the applicable fees shall be calculated from the most current version of the Town Ordinance #63-B.

Section R108.5 Insert: “The policy for applications and permits issued in accordance with this Code is as follows: Plans Review Fees, Issuance fees, Data Processing fees and Penalties are non-refundable. Permits that expire in accordance with Section 105.5 Prior to commencement of any work may, upon written request a refund may be granted for the permit fee less a \$100 administration fee; no refund will be given where work for which the permit was issued has commenced.”

Section R110.4 Delete in its’ entirety

Section R112 Delete in its’ entirety

Section R301.2(1) Insert

WIND DESIGN	WEATHERING	FROST DEPTH LINE	TERMITE WINTER	DESIGN TEMP
140 MPH	NEG	12”	VERY HEAVY	29
FLOOD HAZARD		AIR FREEZING INDEX	MEAN ANNUAL TEMP	
FIRM 03/17/2010		20	69	

Section R313.2 Insert: “with an aggregate gross floor area exceeding 5000sf or a building height in stories exceeding two. For the purposes of this Section, a structure constructed on piers, pilings, shear walls or columns where the distance between the lowest horizontal supporting member and any portion of the grade or slab below the first elevated floor is 70” or greater shall be considered a story.

Section R322.1 Insert: “and in accordance with the Flood Damage Prevention Ordinances of the Town of Dauphin Island, Alabama.”

Section N1103.2.1 Delete and Replace with: “Supply ducts or portions thereof located outside of the building thermal envelope shall be insulated to a minimum of R-6.”d

(c) The 2018 International Fire Code including Appendix Chapters A, B, C, D, E, F, H, I and J as published by the International Code Council, be and is hereby adopted as the Fire Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Sections 101.1: Town of Dauphin Island, Alabama and its Police and Planning Jurisdiction.

Section 105.6: Delete in its’ entirety

Section 108: Delete in its’ entirety

Section 109.3: Delete in its’ entirety

(d) The 2018 International Mechanical Code including Appendix Chapter A, as published by the International Code Council, be and is hereby adopted as the Mechanical Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Section 101.1. Insert: Town of Dauphin Island, Alabama

Section 106.5.2. Insert: Mechanical Permits require the following fees to be paid at time of issuance:

- (1) Residential – Installation of Air Conditioning/Heating Systems the fee shall be \$30.00 per unit plus \$5.00 per ton over 4 tons.
- (2) Commercial-Installation of Air Conditioning/Heating Systems the fee shall be \$50.00 per unit plus \$5.00 per ton over 4 tons.
- (3) Systems in buildings of multi-occupancies are considered separate systems.
- (4) Installation of heating/ventilating systems, add-on, and repairs to systems, the fee shall be \$30.00
- (5) Boilers based on B.T.U. input:

33,000 B.T.U. (1BHP) to 165,000, (5BHP)	\$10.00
165,000 B.T.U. (5BHP) to 330,000, (10BHP)	\$15.00
330,000 B.T.U. (10 BHP) to 1,165,000, (52BHP)	\$25.00
1,165,000 B.T.U. (52BHP) to 3,300,000, (98BHP)	\$35.00
Over 3,300,000 B.T.U.	\$45.00
- (6) Duct work only.

Work started without permit	2 X Permit Fee
Permit Fee	\$25.00

Section 106.5.3. Item (2) Insert: Twenty-Five

Section 106.5.3 Item (3) Delete in its’ entirety

Section 108.5. Insert one hundred and fifty (\$150.00)

Section 109: Delete in its' entirety

(e) The 2018 International Plumbing Code including Appendix Chapters C, E, F and G, as published by the International Code Council, be and is hereby adopted as the Plumbing Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Section 101.1. Insert: Town of Dauphin Island, Alabama

Section 106.6.2. Insert: Plumbing permits require the following fees to be paid at time of issuance:

<u>PLUMBING PERMIT FEES</u>	-	<u>ISSUE FEE \$25.00</u>	
Dishwasher	\$6.00	Inspections (min 2)	\$15.00
Neutral Ground	\$6.00	Drinking Fountain	\$6.00
Public Sewer/ext	\$15.00	Bar Sinks	\$6.00
Commodos	\$6.00	Service Sinks	\$6.00
Lavatories	\$6.00	Laundry Tubs	\$6.00
Bathtubs	\$6.00	Floor Drains	\$6.00
Shower-separate	\$6.00	Water piping	\$6.00
Kitchen sinks	\$6.00	Water Heater	\$6.00
Washing Machine	\$6.00		
Work started without permit	2 X Permit Fee		

Section 106.6.3 Item (2) Insert: Twenty-five

Section 106.6.3 Item (3) Delete in its' entirety

Section 108.5. Insert: One hundred and fifty – five hundred maximum

Section 109.2.1 Delete in its' entirety

(f) The 2018 International Property Maintenance Code, as published by the International Code Council, be and is hereby adopted as the Property Maintenance Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Section 101.1. Insert: The Town of Dauphin Island, Alabama

Section 103.5. Insert: The town of Dauphin Island requires permits for projects/job if the value (materials and labor) of it equals \$500 or greater

Section 111. Delete in its' entirety

Section 302.4. Insert: twelve

Section 304.14. Delete in its' entirety

Section 602.3. Insert: November1; February 28

Section 602.4. Insert: November 1, February 28

(g) The 2018 International Fuel Gas Code, as published by the International Code Council, be and is hereby adopted as the Fuel Gas Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Section 101.1. Insert: Town of Dauphin Island, Alabama

Section 106.6.2. Insert: Gas permits require the following fees to be paid at time of issuance:

GAS PERMIT FEES - ISSUE FEE \$25.00

Range	\$6.00
Dryer	\$6.00
Water Heater	\$6.00
Space Heater	\$6.00
Heat System	\$30.00
Gas Piping	\$6.00
Inspections	\$10.00
Work started without permit	2 X permit fee

Section 106.6.3 Item 2: Insert "fifty"

Section 106.6.3 Item 3: Delete in its' entirety

Section 108.5. Insert One hundred fifty – Five hundred maximum

Section 109 Delete in its' entirety

(h) The 2014 National Electrical Code Administrative Provisions, as published by the International Code Council, be and is hereby adopted as the Administrative Provisions of the Electrical Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Section I. Authority Having Jurisdiction: Town of Dauphin Island, Alabama

Electrical Permits require the following fees to be paid at time of issuance:

ELECTRICAL PERMIT FEES - ISSUE FEE \$25.00

Main Service and Service Repairs:

200 Ampere switch or less	\$25.00	TEMPORARY SERVICE	\$12.50
400 Ampere switch	\$25.00	TRAILERS MHP	\$25.00
600 Ampere switch	\$25.00	TRAILERS-Private lots	\$25.00
800 Ampere switch	\$25.00		
1200 Ampere Switch	\$30.00		
1600 Ampere Switch	\$35.00		

2000 Ampere Switch \$45.00

**OUTLETS**

1-3 \$5.00  
4-10 \$6.00  
11-15 \$8.00  
16-24 \$12.00  
25-50 \$16.00  
51-75 \$25.00  
76-100 \$33.00  
101-150 \$50.00  
151-200 \$60.00  
Plus \$0.40 each over 200

**FIXTURES**

1-10 \$10.00  
11-20 \$11.00  
21-30 \$12.00  
31-40 \$13.00  
41-50 \$15.00  
51-60 \$18.00  
61-70 \$20.00  
71-80 \$22.00  
81-90 \$26.00  
91-100 \$32.00

Plus \$0.40 each over 100

**MOTOR INSPECTION**

Fraction. to 1 HP \$5.00  
1 ½ to 3 HP \$6.00  
4 to 10 HP \$8.75  
11 to 20 HP \$11.50  
21 to 30 HP \$13.75  
31 to 50 HP \$15.50  
51 to 100 HP \$17.50  
Above 100 HP \$17.50 plus \$0.20  
Per HP above 100.

**HEATING**

0.0 kw to 7.9 kw \$5.00  
8.0 kw to 14.9 kw \$8.00  
15.0 kw to 22.9 kw \$10.00  
23.0 kw to 37.9 kw \$15.00  
38.0 kw to 74.9 kw \$20.00

**APPLIANCES, ETC.**

Welding Machine Receptacle \$10.00  
Range Receptacle \$6.00  
Dryer Receptacle \$6.00  
A/C & Heating Receptacle \$12.50  
Water Heater Receptacle \$6.00

Each Generator – Use motor schedule and add \$2.00

Other current consuming devices to be charged for as motors.

Multiply amperes by voltage and reduce to horsepower by dividing by 746 watts.

**OTHER**

Commercial (Alarm System) \$30.00  
Residential (Alarm System) \$20.00  
Swimming Pool \$50.00 (bonding, pump and motor)  
Transformers (1 kw or above) \$10.00



Docks, Piers and Boathouses	
..... Residential (up to 5 outlets)	\$25.00
..... Over 5 outlets	\$35.00
..... Power Pedestals	\$2.00 per pedestal
..... Boat Lifts	\$30.00
..... Motors (not specified elsewhere)	\$ 10.00 each
..... Signs	\$15.00 each
..... Service equipment repair or upgrade	\$50.00 per panel or meter
Housing	
Manufactured Buildings	\$75.00
Issuance Fee	\$25.00
Work started without permit	2 X permit fee
Re-inspection Fee	\$25.00

- (i) The 2014 National Electrical Code (NFPA 70), as published by the National Fire Protection Association, be and is hereby adopted as the Electrical Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Article 210.8(A)(3) Insert: "For structure located in a Special Flood Hazard Area, the required GFCI protection for these outlets shall be located in the panel."

Article 210.8 (A)(8) Insert: The required GFCI protection for these outlets shall be located in the panel."

Article 210.8 (B)(4) Insert: "Protection required by this section for outdoor receptacles at grade level and located within the Special Flood Hazard Area shall be located within the panel."

Article 210.8 (C) Insert: for plug and cord connected hoists, the required GFCI protection shall be located in the panel."

Article 210.52(E) Insert: "for plug and cord connected hoists, the required GFCI protection shall be located in the panel."

Article 334 item (1) Insert: "and townhouses constructed in accordance with the International Residential Code."

Article 334.10 Delete items (2), (3), (4) and (5) in their entirety.

Article 334.12 item (1) delete the phrase "(2) and (3)" and insert: "and townhouses built in accordance with the International Residential Code."

Article 680.26 ( C ) (I) Insert: "Where deck reinforcing steel is not an integral part of the pool, the deck reinforcing steel shall be bonded to other parts of the bonding grid using a minimum 8AWG solid copper conductor. Connection shall be per 680.26(D)."

(j) The 2018 International Energy Conservation Code, as published by the International Code Council, be and is hereby adopted as the Energy Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Section C101.1 Insert: "The Town of Dauphin Island, Alabama"

Section C109 Delete in its' entirety

Section 403.1.1 Delete in its' entirety

Section R101.1 Insert: "The Town of Dauphin Island, Alabama"

Section R109 Delete in its' entirety

Section 403.2.1 Replace the value R-8 with R-6

Section R403.2.2 Replace with: "Sealing (Mandatory) All ducts, air handlers, filter boxes and building cavities used as ducts shall be sealed. Joints and seams shall comply with Section M1601.4.1 of the International Residential Code.

- (i) Effective July 1, 2013, duct tightness shall be verified by either of the following: (I) Post-construction test: Leakage to outdoors shall be less than or equal to 8 cfm per 100 ft<sup>2</sup> of conditioned floor area or total leakage less than or equal to 12 cfm per 100 ft<sup>2</sup> of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25Pa) across the rough in system, including the manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 4 cfm per 100 ft<sup>2</sup> of conditioned floor area.
- (ii) Exceptions: Duct tightness test is not required if the air handler and all ducts are located within conditioned space."

(k) The 2018 International Wildland-Urban Interface Code including Appendix Chapters A and B as published by the International Code Council, be and is hereby adopted as the Wildland-Urban Interface Code of the Town of Dauphin Island, in the State of Alabama and the following sections are hereby revised:

Section 101.1 Insert: "The Town of Dauphin Island, Alabama"

Section 103.1 Delete in its' entirety

Section 106: Delete in its' entirety

Section 109.4 Delete in its' entirety

Section 302.1 Delete in its' entirety

Section 302.2 Insert Wildland-Urban Interface Boundary Map.

Chapter 5 Delete in its' entirety  
Section 602 Delete in its' entirety

Section 2. That all other ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 3. That if any section, subsections, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional, such decision shall not affect the validity of the remaining portions of this ordinance. The Town Council of the Town of Dauphin Island, Alabama hereby declares that it would have passed this ordinance and each section, subsections, clause or phrase thereof, irrespective of that fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional.

Section 4. That nothing in this ordinance or in the technical codes hereby adopted shall be construed to affect any suit or proceeding impending in any court, or any rights acquired, or liability incurred, or any cause or causes of action acquired or existing, under any act or ordinance hereby repealed by Section 3 of this ordinance; nor shall any just or legal right or remedy of any character be lost, impaired or affected by this ordinance.

Section 5. That this ordinance and the rules, regulations, provisions, requirements, orders and matters established and adopted hereby shall take effect and be in full force and effect on permit applications received on and after July 1, 2012.

Severability:

The provisions of this Ordinance are severable and if any paragraph section, sentence, or provision thereof shall be held invalid, such invalidity shall not affect the remaining portions of this Ordinance which shall remain in full force and effect.

Effective Date:

This Ordinance shall become effective immediately upon its passage and required posting, or otherwise becoming law.

APPROVED AND ADOPTED THIS 16TH DAY OF OCTOBER, 2018.

  
\_\_\_\_\_  
JEFF COLLIER, MAYOR

ATTEST:



WANDA SANDAGGER, TOWN CLERK

ORDINANCE NO. 60-G  
BUILDING CODES

AN ORDINANCE TO ADOPT VARIOUS STANDARD CODES RELATING TO  
INSPECTION ACTIVITIES OF THE TOWN OF DAUPHIN ISLAND, ALABAMA AND  
ENFORCEMENT OF BUILDING PROVISIONS AS PROVIDED IN SAID CODES AND  
REPEALING ORDINANCE NO. 60-E IN ITS ENTIRTY

Section 1: WHEREAS, it is the desire of, the Town of Dauphin Island to adopt, in all respects, the various Standard Codes relating to amusement devices, building, fire prevention, gas, housing, mechanical, plumbing electrical, and swimming pools and,

WHEREAS, the adoption of these codes is done to facilitate proper inspection activities by the Town of Dauphin Island relating to construction and to maintenance of buildings within the said Town of Dauphin Island and relating to public safety, health and general welfare;

NOW, THEREFORE, BE IT ORDAINED BY the Town of Dauphin Island that the following codes are hereby adopted by reference as though they were copied herein fully:

International Green Construction Code – 2018 Edition  
International Building Code – 2018 Edition  
International Residential Code – 2018 Edition  
International Existing Building Code – 2018 Edition  
International Fire Prevention Code – 2018 Edition  
International Mechanical Code – 2018 Edition  
International Plumbing Code – 2018 Edition  
International Property Maintenance Code – 2018 Edition  
International Wildland-Urban interface Code – 2018 Edition  
International Energy Conservation Code – 2018 Edition  
International Fire Code – 2018 Edition  
National Electrical Code (NEC) 2014 edition  
International Swimming Pool & Spa Commentary – 2018 Edition  
All revisions to the 2018 International Codes

Typical Method of Anchorage and Bracing of Structures for Dauphin Island, Alabama dated March, 2004

Section 2: BE IT FURTHER ORDAINED by the Town of Dauphin Island that nothing herein shall prevent the owner of any home from effecting an electrical, plumbing or mechanical installation or repair of same within his own property boundaries, providing such privilege extends to the owner only. All work done hereunder shall conform to the provisions of this code and a permit must be obtained where required.

Section 3: BE IT FURTHER ORDAINED BY the Town of Dauphin Island that the use of aluminum wire or conductor for the transmission or switching of electrical energy or current in the Town of Dauphin Island is expressly prohibited.

Section 4: BE IT FURTHER ORDAINED BY the Town of Dauphin Island that all structural components of the framing envelope shall be designed to withstand the wind loads of one hundred twenty (120) miles per hour sustained winds (or a 3 second wind gust of one hundred forty (140) miles per hour) as provided in the International Building Code.

**WIND BORNE DEBRIS REGION (all of Dauphin Island).** Areas within hurricane-prone regions within one mile of the coastal mean high waterline where the basic wind speed is zoned 110 miles per hour (177km/h) or greater; or where the basic wind speed zone is equal to or greater than 150 miles per hour (193 km/h).

Section 5: BE IT FURTHER ORDAINED that within said codes, when reference is made to the duties of a certain official named therein, that designated official of the Town of Dauphin Island who has duties corresponding to those of the named official in said code shall be deemed to be the responsible official insofar as enforcing the provisions of said code are concerned.

Section 6: BE IT FURTHER ORDAINED that all buildings and boat lifts constructed over or partially over water shall have all metal components grounded using #6 single strand bare or covered copper wire. The grounding run shall be a single unbroken wire from each electrical and metal component on the boat lift ending at a 5/8 inch diameter eight (8) foot long ground rod installed approximately four (4) feet landward from the waters edge. Every electrical motor and switch shall be in the grounding run. The lifting platform supported by cable is not required to be in the grounding loop. No branch grounding is allowed. The ground and power source shall be placed underground from the main electrical panel to the bulkhead. From the bulkhead to all components on the boatlift or buildings the power source shall be in marine conduit attached to the deck/building above the high tide line. From the bulkhead to all components on the boatlift or buildings the #6 solid copper ground shall be attached to the deck/building above the high tide line. All electrical lines shall be in approved conduit. All electrical components shall be accessible from a continuous unbroken deck at least two (2) feet wide. No aerial power lines shall be allowed from a line twenty (20) feet landward of a bulkhead/pier seaward/over a body of water. No aerial power lines shall be within ten (10) feet of a boat ramp or boat ramp access unless a vertical clearance of thirty (30) feet is provided.

Section 7: BE IT FURTHER ORDAINED that any request for Temporary Permanent Power shall require a five hundred dollar (500.00) cash bond deposited with the Building Inspection Department and a signed affidavit. Should the contractor/owner fail to obtain a Certificate of Occupancy within the specified Temporary Permanent Power period the bond shall be forfeited and the Temporary Permanent Power disconnected. Building official shall have discretionary power with regard to forfeiture and disconnection.

Section 8: BE IT FURTHER ORDAINED that all residential and commercial structures designed in digital format shall be provided to the Town in AutoCad (dwg), dxf, dgn, or PDF format on a CD-Rom. This is in addition to the paper copies required for permitting.

Section 9: Stop Work Order:

BE IT FURTHER ORDAINED:

1. Authority: Whenever the designated official finds any work regulated by this code being performed in a manner contrary to the provisions of this code or in a dangerous or unsafe manner or without a building permit, the designated official is authorized to issue a stop work order.
2. Issuance. A verbal “stop work” order shall be confirmed in writing within forty-eight (48) hours and shall be deemed served by posting “stop work” order at site or hand delivered or by certified mail to owner, as shown on the Mobile County Tax Rolls, or contractor. Upon issuance of a stop work order, the cited work shall immediately cease. The stop work order shall state the reason for the order and the conditions under which the cited work will be permitted to resume.
3. Unlawful continuance. Any person who shall continue any work after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition, shall be subject to penalties as prescribed by this ordinance.
4. Penalties: It shall be a Class A misdemeanor punishable as provided by State Law for any person, firm, partnership, association or corporation to violate any provision of this Ordinance.
5. Fines. In addition to the foregoing, any contractor, person, corporation or other entity found to be in violation of a “stop work” order shall, upon conviction, be punished by a fine of not less than One Hundred (\$100.00) nor more than Five Hundred Dollars (\$500.00) for each day the violation shall continue and/or may be imprisoned or sentenced to hard labor for the Town of Dauphin Island for a period not exceeding six (6) months, at the discretion of the court trying the case. Nothing here in shall prevent the Town of Dauphin Island from taking any other administrative or lawful action deemed necessary to prevent or remedy any violation.

Section 10: Violation of Building Code:

BE IT FURTHER ORDAINED:

1. Designation of Official. Whenever a code or standard adopted by reference herein and/or this ordinance refers to the duties of certain officials named therein, the designated official of the Town of Dauphin Island who has duties corresponding to those of the named official in said code or standard shall be deemed to the responsible official under the said code or standard and this ordinance.
2. Notice of Violation: Whenever the designated official finds any work regulated by this code being performed in a manner contrary to the provisions of this code or in a dangerous or unsafe manner or without a building permit, the designated official is authorized to give notice of the violation to the occupant, applicant, contractor, or owner as shown on the most recent tax roll of Mobile County.

3. Penalties. Any contractor, person, corporation or other entity found to be in violation of the provisions of this ordinance and/or any of the standard codes or standards adopted by reference herein shall, upon conviction, be punished by a fine of not less than One Hundred (\$100.00) nor more than Five Hundred Dollars (\$500.00) for each day the violation shall continue and/or may be imprisoned or sentenced to hard labor for the Town of Dauphin Island for a period not exceeding six (6) months, at the discretion of the court trying the case. Nothing herein shall prevent the Town of Dauphin Island from taking any other administrative or lawful action deemed necessary to prevent or remedy any violation.

Section 11: BE IT FURTHER ORDAINED if any section, clause, provision or portion of this ordinance shall be held to be invalid or unconstitutional by any court of competent jurisdiction, such holding shall not affect any other section, clause, provision or portion of this ordinance that is not in and of itself invalid or unconstitutional.

This ordinance shall take effect February 1, 2019 and be in force from and after its passage, the public welfare requiring it.

PASSED AND APPROVED BY THE TOWN OF DAUPHIN ISLAND on the 10 day of October 2018

1<sup>st</sup> Reading

Posted

Public Hearing

2<sup>nd</sup> Reading

Adopted This day 10 of Oct in 2018

Posted

**Typical Methods of Anchorage  
And Bracing of Structures  
for  
Dauphin Island, Alabama**

The current approved version of “Typical Methods of Anchorage and Bracing of Structure for Dauphin Island, Alabama” will be utilized when issuing a building permit. The following construction requirements are the minimum required and will be adhered to without exception. Should violations occur without correction, the construction will be stopped and the building permit revoked. The Building permit card shall be posted on the job site prior to the start of construction and shall remain until a certificate of occupancy has been issued.

-Flood Zones-

**A-1** All construction shall comply with FEMA regulations and Technical Bulletins.

**A-2** The 100 year flood base elevation in V-Zones is determined at the bottom of lowest structural member. First habitable floor of a structure shall be constructed two (2) feet above the base flood elevation.

**A-3** The 100 year base flood elevation in AE-Zones is determined from the top of the finished floor or lowest habitable floor. First habitable floor of a structure shall be constructed two (2) feet above base flood elevation.

**A-4** In an X zone, the finished floor shall be constructed two (2) feet above the natural ground or the center line of the street, which ever is greater.

**A-5** In areas known by the Building Official to produce ponding, the bottom of the finished floor shall be constructed two (2) feet above the natural ground.

**A-6** Finished areas below the designated base flood elevation for the applicable flood zone plus two (2) feet are prohibited.

**A-7** All structures on Dauphin Island require an elevation certificate prior to issuance of a Certificate of Occupancy. The certificate form used must be an approved FEMA format.

**A-8** ALL FLOOD ZONES, all concrete pads beneath an elevated structure, or other parking pads must be engineered to comply with minimum wind requirements as set forth by the International Building Code and flood requirements set forth by the NFIP.

**A-9** In V-Zones or AE Zones ADJACENT to V-Zones, the area beneath the elevated superstructure of a building may be enclosed only with non-loadbearing breakaway walls not to exceed a maximum size of 300 square feet. Open lattice and insect screening may also be used in lower areas.



A-10 In AE Zones NOT adjacent to V-Zones enclosed areas beneath an elevated building are required to install flood vents. There must be a minimum of two (2) openings, in solid foundation walls in enclosed areas below BFE with a total of one (1) square inch per square foot of enclosed area, the bottom of which must be no higher than one (1) foot above grade.

A-11 Uses of the area beneath an elevated building in all V or AE Zones are restricted to parking, access, and storage; lower areas must not be finished or used for recreational or habitable purposes. No mechanical, electrical, or plumbing equipment is to be installed below the BFE. All machinery or equipment which services a building (i.e., furnaces, air conditioners, heat pumps, hot water heaters, washers, dryers, elevator lift equipment, food freezers, etc.) must be elevated above the BFE. FINISHED AREAS ARE NOT PERMITTED.

### Foundations

**Before beginning of any construction, a survey shall be acquired by builder or home owner.**

P-1 All structural foundations to be used for habitable or living spaces shall be designed, signed and sealed by a registered Alabama engineer/architect

**P-2** All piles installed shall be in accordance with or exceed the schedule for diameter, ground penetration, and pressure treatment. Because of the varying subsurface soil conditions on Dauphin Island, it is recommended that builders have a geotechnical foundation analysis performed for their specific building and site. Foundations designed, signed and sealed by a Geotechnical Engineer may result in a different piling length being specified than those lengths listed below and will be permitted. When appropriate, scour and wind loads shall be taken into consideration in determining length of piles,

**P-2.1** Pilings eight feet (8') or less in total length used to support non habitable areas shall be a minimum of 6" square or 8" round and shall be embedded not less than 3' & secured with concrete.

**P-2.2 Pilings over 8 feet but less than 12 feet in total length used to support a Non Habitable Area:** Square pilings shall be a minimum of eight (8) inches square. Round pilings shall have a ten (10) inch diameter on the larger (butt) end of the piling. All piles shall be embedded to the same depth that extends above the ground, but not less than six (6) feet.

**P-2.3 Pilings more than twelve (12) feet in total length or pilings used to support habitable areas:** Square pilings shall be a minimum of ten (10) inches square. Round pilings shall have a twelve (12) inch diameter on the larger (butt) end of the piling. All piles shall be embedded to the same depth that extends above the ground, but not less than twelve (12) feet.

**P-2** All piles installed shall be pressure treatment to not less than twelve (12) lbs or 0.8.

**P-3** Piling shall be inspected on job site prior to embedment. Piles installed without inspection will be rejected and removed. A Forty-eight (48) hour notice is required to obtain an inspection.

**P-4** Piling shall be spaced not more than eight (8) ft center to center in one direction unless properly designed to carry the load by a registered Alabama architect/engineer. The design shall be sealed and signed by the registered architect/engineer.

**P-4.1** Inspection of structural layout shall be required prior to installation of pilings or foundation construction. All property lines and setback lines must be clearly marked.

**P-5** Jetted piles shall not be built upon for at least seven (7) days after placement.

**P-6** Concrete fill is required for bored piling used for structural support.

**P-7** All pile supported structures shall be crossed braced at all corners, additional braces according to structures dimension and design with minimum 2"x 6" material bolted with ½ inch hot dipped galvanized bolts. Engineer designed pile knee bracing, a minimum of six (6) feet long, may be approved at certain spaces to allow boats and vehicles access under the structure.

**As an approved alternate method, galvanized threaded rods with a turn buckle may be used. If galvanized threaded rods are used – appropriate covering must be installed for visibility & accident prevention.**

### **-Framing-**

**F-1** Framing materials shall be sized to equal or surpass design values of span table requirements of 2012 International Residential Code.

**F-2** All nails and fasteners shall equal or surpass attached schedule. (Nails to be hot dipped galvanized nails)

**F-3** Not less than two (2), ½ inch hot dipped galvanized bolts and washers per piling and sill connection. (wood blocking to correct length is prohibited).

**F-4** Cantilevering of floor system or porches/decks/walkways cannot exceed one foot from the face of piling or foundation. Attachment must be accomplished by bolting and screwed with weather retardant

**F-5** Open porches, walkways & decks shall have guardrails a minimum of 42 inches high [if deck, floor or walkway is 48 inches or greater above finished grade]. Open porches, walkways and decks shall be supported by embedded continuous pile supports of 8"x 8" posts or 10" diameter round piles bolted according to detail. All piles shall be embedded to the same depth that extends above the ground **but not less than six (6) feet. Six inch (6") x Six inch (6") posts**

*used for aesthetic purposes may be used on covered porches or decks as long as load bearing is being transferred to the continuous pile supports. Exception; minimum embedment in sandy soils shall be twelve (12) feet. Minimum 6" X 6" support posts embedded minimum six (6) feet shall be used for exterior entry stairways.*

F-6 Knee brace supporting of structures, porches, walkways or decks is prohibited.

F-7 Cantilevered eaves and roof overhangs shall not exceed twelve (12") inches.

F-8 Studs, ceiling joist, rafters or truss (truss roof systems) shall be spaced a maximum of sixteen (16) inches on center unless a lesser distance is required by a registered Alabama architect/engineer.

F-9 Cathedral ceiling and vaulted ceiling framing and glass enclosed gable areas shall be engineered, signed and sealed by an Alabama registered architect/engineer, and approved prior to a permit being issued.

F-10 Roof and walls shall be completely sheathed with a minimum of 5/8 inch plywood or equal materials.

F-11 Engineered trusses connected with spur plates shall be strapped over peak, install 2" x 4" blocking to form ridge full length of roof framing consult drawing for bracing requirements on gable roof design. Engineered trusses shall be spaced a maximum of sixteen (16) inches on center unless an alternate distance is required by a registered Alabama architect/engineer .

F-12 All roof framing at points where roof slopes change shall be connected by a metal strap or approved metal connector in addition to nailing.

F-13 Gable roof design shall be braced according to drawing, ridge board shall extend to face of eaves. 2" x 4" blocking spaced two (2) feet on center from ridge to plate, this blocking shall extend eight (8) ft minimum from each gable eave back to center of roof structure.

F-14 All gable end walls enclosing attic space shall be braced with one continuous 2" x 4" perlin nailed horizontal in upper third of gable area. Knee braces shall extend not less than eight (8) feet back into attic space at a 45 degree angle with a minimum of two (2) braces per gable end.

F-15 Collar beams (wind braces) of 1"x 6" boards shall be installed in the upper third (1/3) of the roof height to every pair of rafters.

F-16 All exposed metal connectors, hurricane straps, and bolts shall be hot dipped galvanized. Hurricane clips are prohibited.

F-17 Typical anchorage and hurricane strap details are subject to be amended according to structures shape and design.

**F-18** *When specified by an Alabama registered engineer/architect, use of Norbord or equal Windstorm panels for structural wall sheathing will be allowed in lieu of uplift hardware. All such sheathing shall be installed in a nailing pattern specified by the registered engineer/architect.*

**F-19** Multilevel structures shall be anchored at each floor level. Straps shall extend from top of studs over floor system to bottom of studs above, adequately nailed to all systems. Continuous approved rod systems may be used.

**F-20** Hurricane straps are required on each joist to still, sill to bottom of each stud, top of each stud to each rafter, adequately nailed to all systems. Continuous approved rod systems may be used.

**F-21** All framing, fastening and anchorage shall be inspected prior to the placement of any sheathing, insulation, or sheet rock. Any covering of straps shall be removed for an inspection.

**F-22** Framing Inspections (4) required

Foundation – (before placement of concrete)

Anchorage – (proper spacing of anchors)

Framing – (before sheetrock/interior wall/ceiling)

Final – (before issuing Certificate of Occupancy)

This code is minimal, and does not circumvent or dictate the shape or design, or take away the owners right to submit plans prepared by a registered Alabama Engineer or Architect. A full set of plans with structural calculations and a statement of the design wind load shall be submitted prior to a permit being issued. All new construction plans shall be stamped & signed by a registered Alabama Architect or Engineer.

## **ROOFING**

**R-1** *Metal Roofing shall meet minimum requirements of 26 gauge material installed in accordance with the manufacturer's instructions to warranty wind protection of 120 mph sustained winds with 3 second gusts of 140 mph. Maximum spacing of screws shall be every eighteen (18) inches and each side of all ribs along perimeter edge. Minimum two (2) inch screws.*

**R-2** *All shingles must be warranted by the manufacturer to withstand a minimum of 110 mph sustained winds with 3 second gusts of 140 mph. This requirement will be raised to 120 mph sustained winds with 3 second gusts of 140 mph as manufacturers make this product available in Alabama. All shingles are required to be nailed with six (6) nail pattern. The first two (2) courses around a structure and all ridges are to be glued down prior to nailing.*

**R-3** *All roofing materials are to be inspected by the building official prior to installation.*

R-4 When replacing 50% of roof or more, must use Ice & Water shield underlayment and must tape all seams and valleys.

**Plywood &  
Particleboard Roof &  
Wall Sheathing**

1/2" or less	6d common	6"o.c. edges
19/32" or greater	8d common	12"o.c. edges & 12'o.c. intermediate
5/16", 1/2"	16 ga galvanized wire staples, 3/8" min crown. Length of 1" plus plywood or particleboard thickness	4"o.c. edges & 7"o.c.intermediate
19/32", 3/4"		2"o.c. edges & 5"o.c. intermediate
1/2" Fiberboard Sheathing	1 1/2" galvanized roofing nail 6d common wall	6" at other bearings
<b>Connection</b>	<b>Fastener</b>	<b>Number of Spacing</b>
25/32" Fiberboard Sheathing	1 3/4" galvanized roofing nail 8d common nail	3"o.c. at edges & 6"o.c. at other bearings
1/2" or 5/8" Gypusm Sheathing	12 gal 1 1/4" large head corrosion resistant	4"o.c. at edges & 8"o.c. at edges
Gypusm Wall 1/2"	1 3/8" drywall nail	7"o.c. on ceilings 8"o.c. on walls
5/8"	1 1/2"drywall nail	7"o.c. on ceilings 8"o.c. on walls

**Particle Board Siding**

3/8"- 1/2"	6d2
5/8"3	8d2
3/4"4	8d2

<b>Connection</b>	<b>Fastener</b>	<b>Number of Spacing</b>
Joist to sill or girder toe nail	8d common	3
Bringing to joist toe nail each end	8d common	2
Ledger Strip	16d common	3 at each joist
1x6 subfloor or less to each joist face nail	8d common	2
Over 1x6 subfloor to each joist, face nail	8d common	3
2" subfloor to joist or girder, blind & face nails	16d common	2
Sole plate to joist or blocking, face nail	16d common	16"o.c.
Top or sole plate to stud, end nailed	16d common	2
Stud to sole plate, toe nail	8d common	4
Doubled studs, face nail	10d common	24"o.c.
Doubled top plates, face nail	10d common	16"o.c.
Top plates, lap and intersects face nail		2-16d/3-10d common
Coninuous header, two pieces	16d common	16"o.c. along edge
Ceiling joists to plate, toe nail	8d common	3
Continuous header to stud, toe nail	8d common	3
Ceiling joists, laps over partitions, face nail		3-16d/4-10d common
Ceiling joists to parallel rafters, face nail		3-16d/4-10d common
Rafter to plate, toe nail	8d common	3
1-inch brace to each stud and plate, face nail	8d common	2

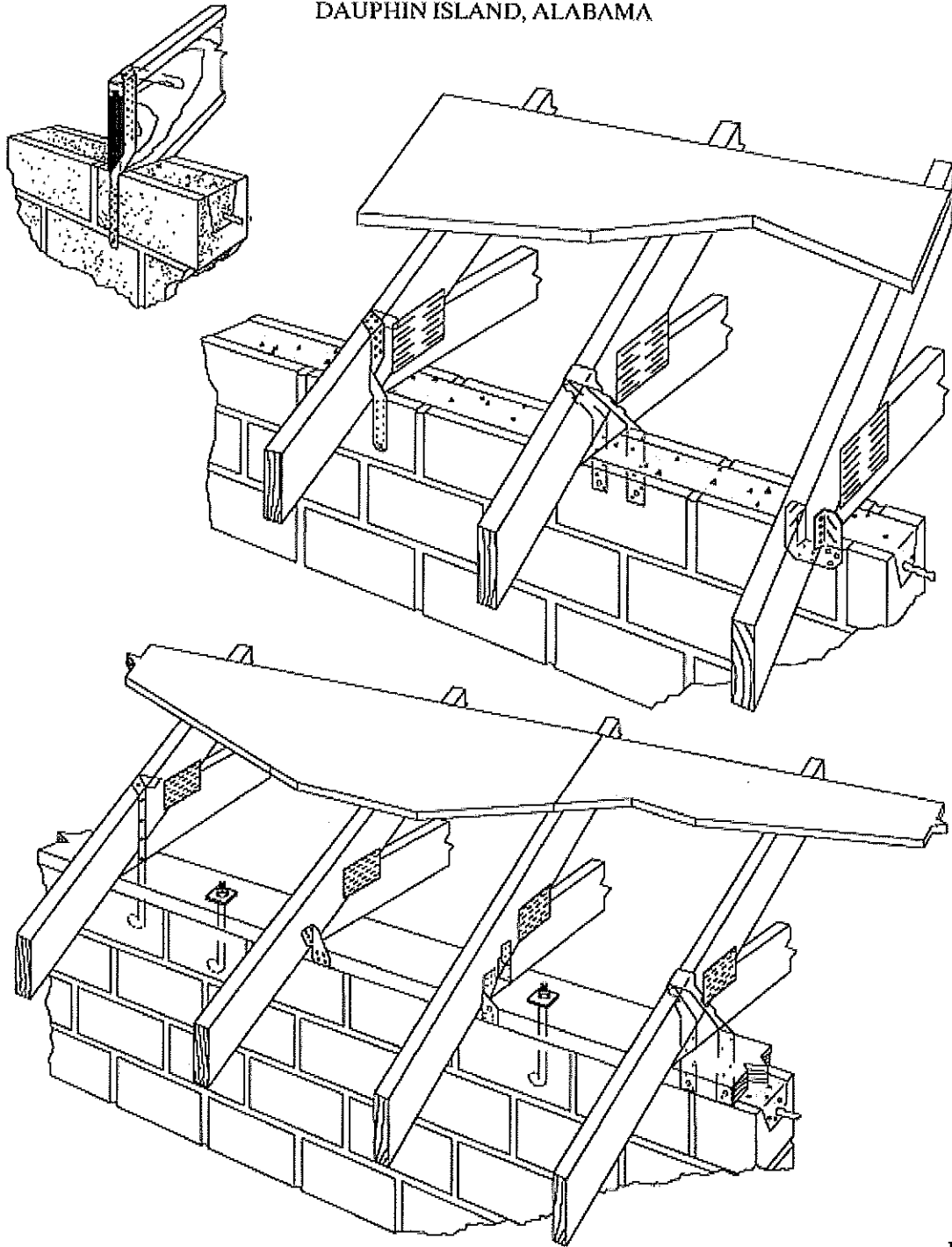
4x8 sheathing or less to each bearing, face nail	8d common	2
Over 1x8 sheathing to each bearing, face nail	8d common	3
Built-Up corner studs	16d common	24"o.c.
Built-Up girders & beams, of three members	20d common	32"o.c. at top & bottom & staggered 2 ends & at each splice
2-inch planks	16d common	2 each bearing
Studs to sole plate, end nail	16d common	2 each end
Plywood and particleboard subflooring		
5		
15/32", 3/4"	6d common, annular/spiral thread	6"o.d. edges & 10"o.c. intermediate
19/32", 3/4"	8d common /6d annular/spiral thread	6"o.c. edges & 10" o.c. intermediate
1", 1 1/8"	10d common 8d	6"o.c. edges & 6" o.c. intermediate
15/32", 1/2"	16 ga galvanized wire staples, 3/8" minimum crown	4"o.c. edges & 7" intermediate
19/32", 5/8"	1 5/8" length	2 1/2" o.c. edges & 4" o.c. intermediate

Fiberboard sheathing may be stapled using 16 Ga. Galvanized staples 1 1/8" long for 1/2" sheathing. Staples to have minimum crown of 7/16" and spaced 3" o.c. at edges at 6" o.c. at other bearings.

**\*\* Drywall nails shall conform to ASTM C 514.**

1. Siding applied to 5/8" net wood sheathing, 1/2" plywood or 1/2" particleboard sheathing.
2. Corrosion resistant nails spaced 6" on center at edge and 8" on center at intermediate supports. Nails shall have a minimum edge distance of 3/8".
3. Siding applied to studs spaced 16" on center maximum.
4. Use annular or spiral thread nails for combination sub floor/ underlayment.

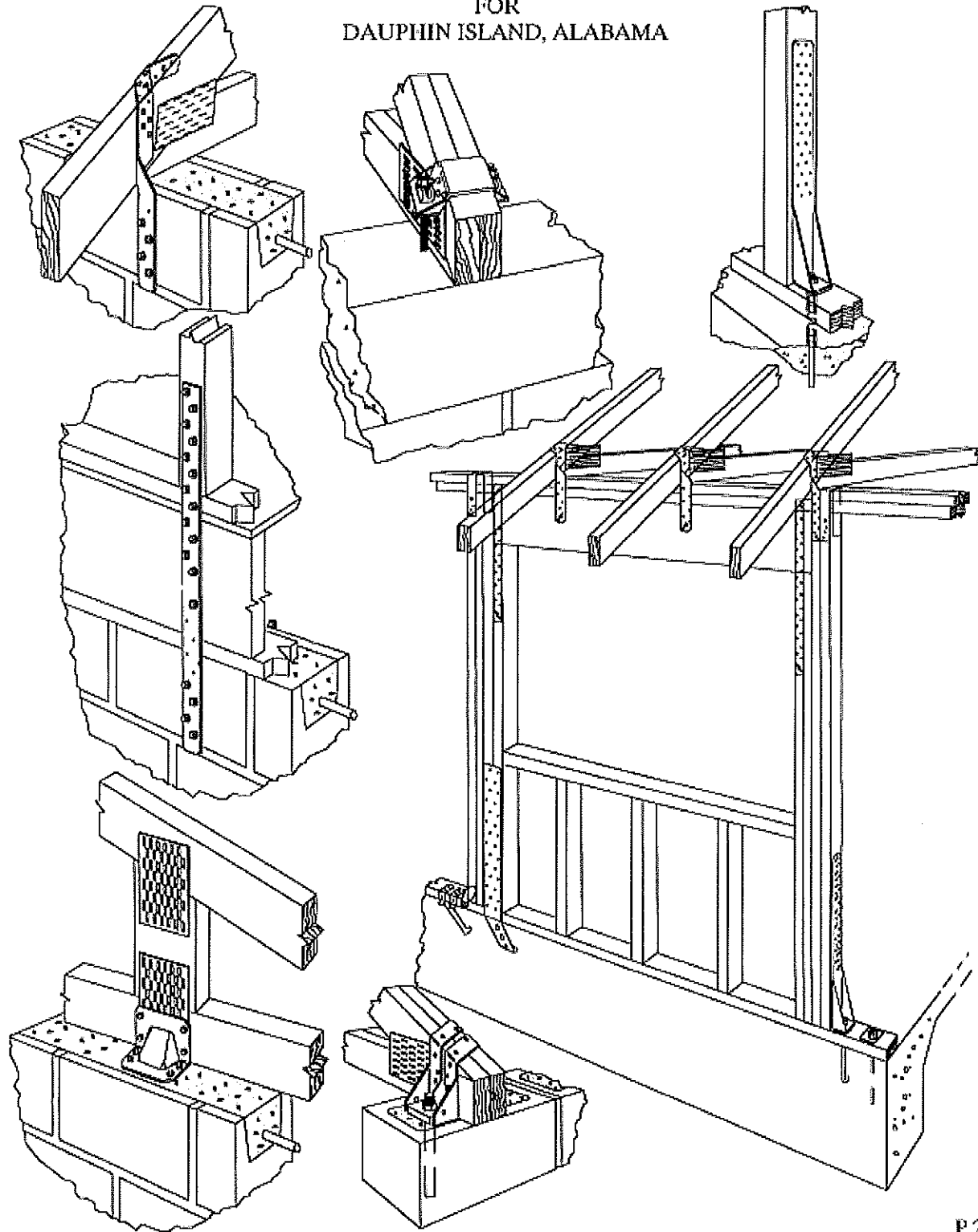
TYPICAL METHODS OF ANCHORAGE AND BRACING OF STRUCTURE  
FOR  
DAUPHIN ISLAND, ALABAMA



P.1

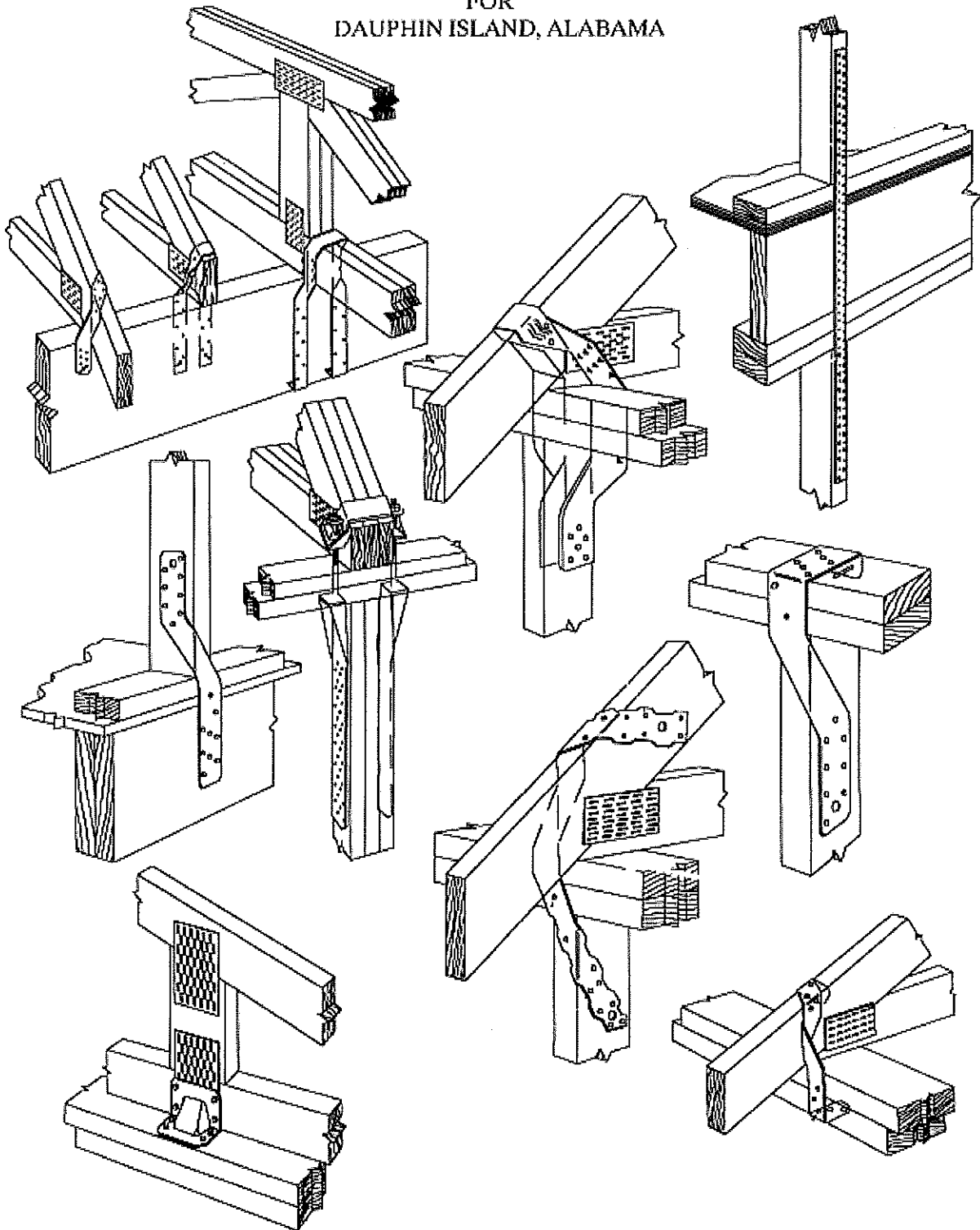


TYPICAL METHODS OF ANCHORAGE AND BRACING OF STRUCTURE  
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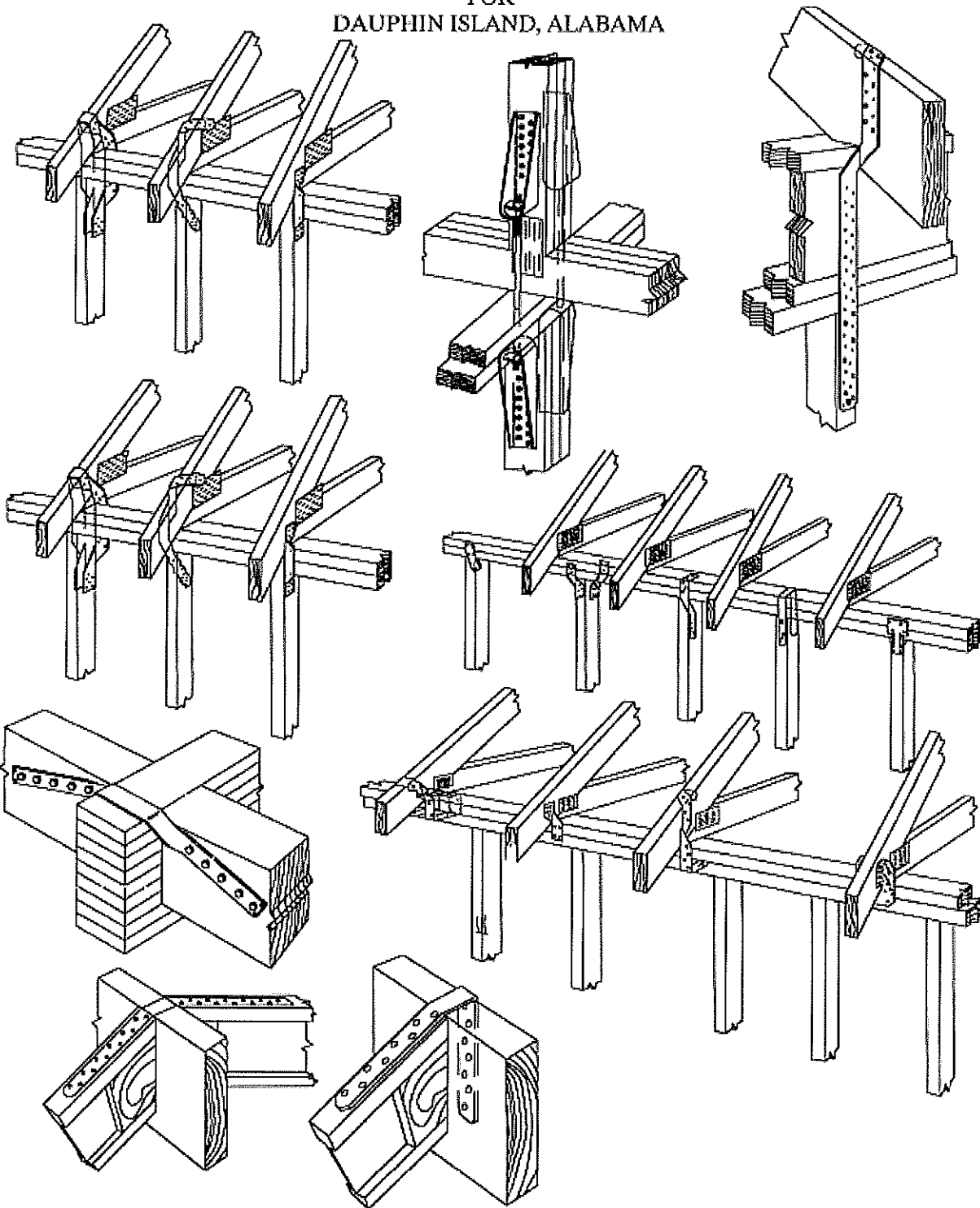
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TYPICAL METHODS OF ANCHORAGE AND BRACING OF STRUCTURE  
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DAUPHIN ISLAND, ALABAMA



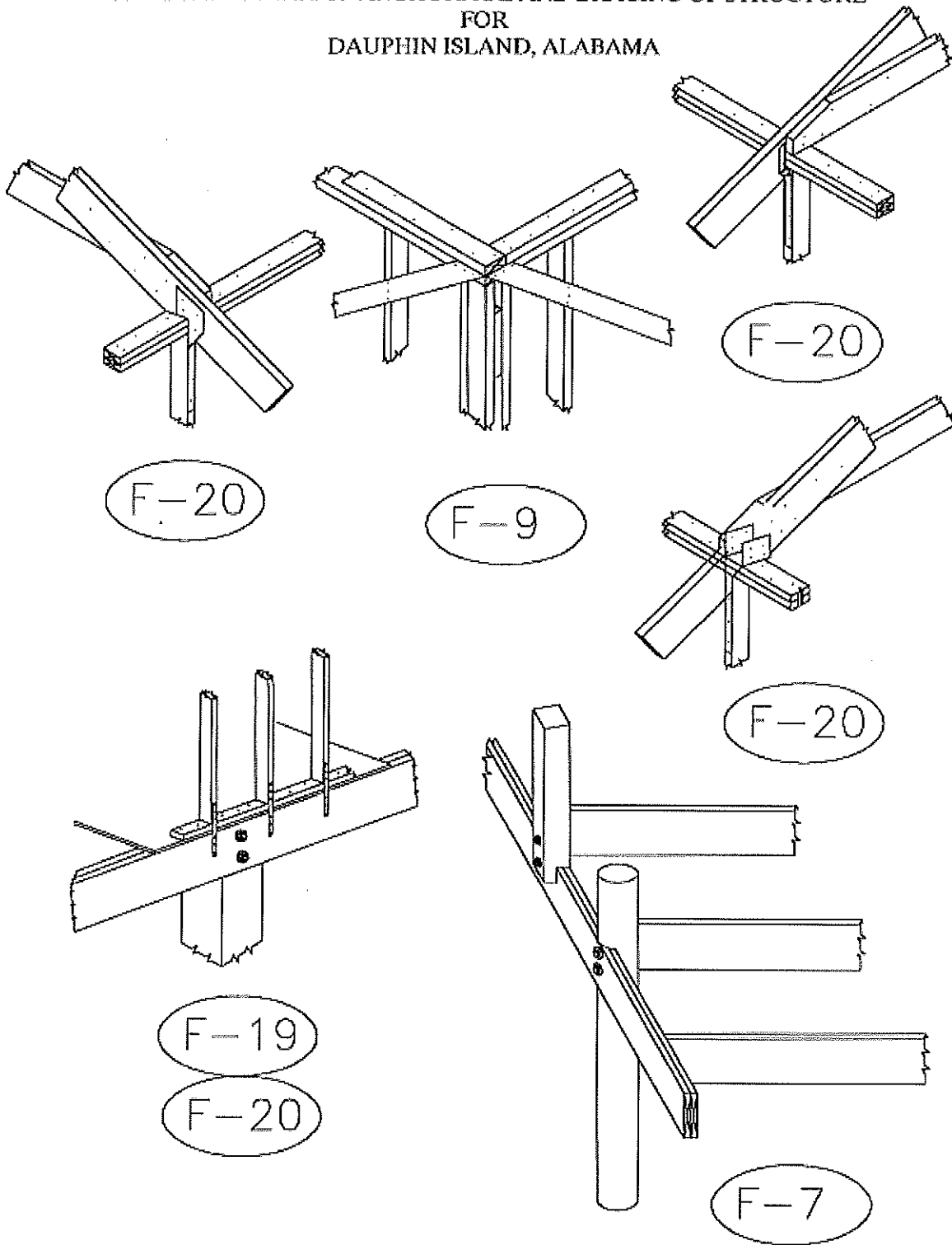
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TYPICAL METHODS OF ANCHORAGE AND BRACING OF STRUCTURE  
FOR  
DAUPHIN ISLAND, ALABAMA

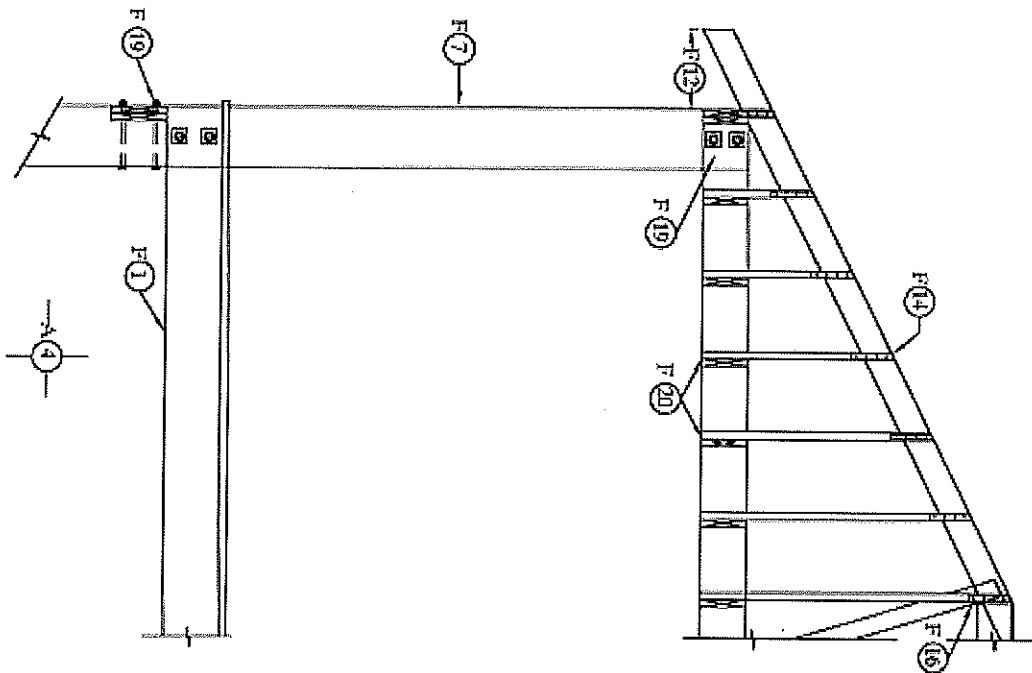
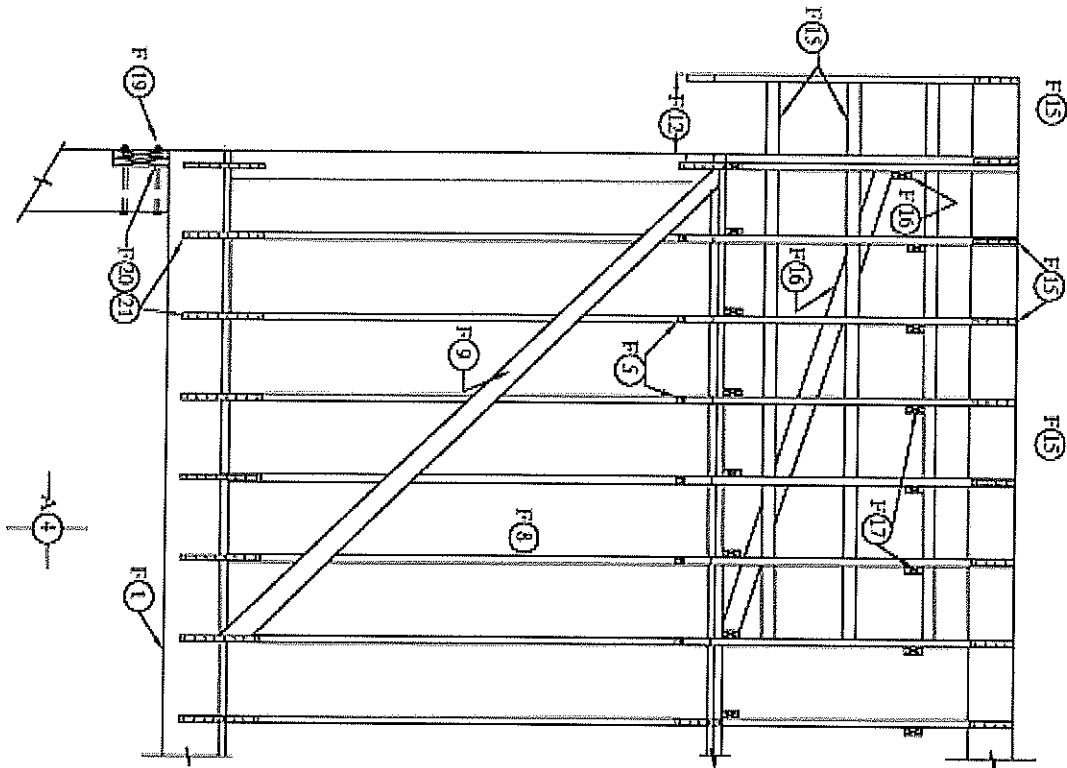


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TYPICAL METHODS OF ANCHORAGE AND BRACING OF STRUCTURE  
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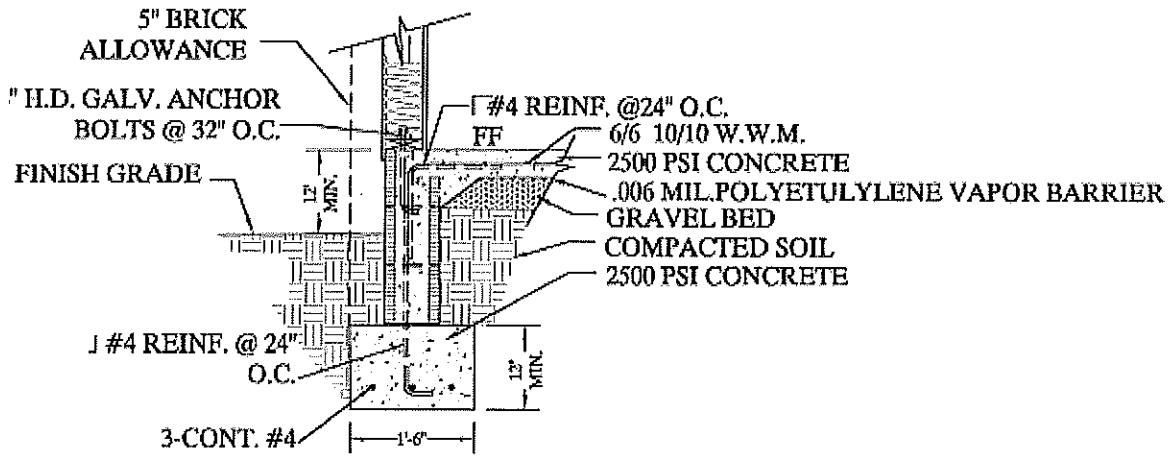
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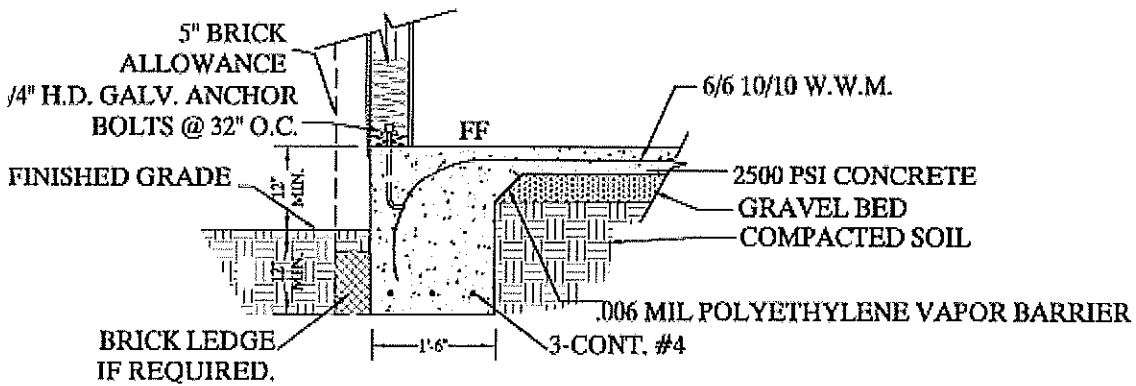
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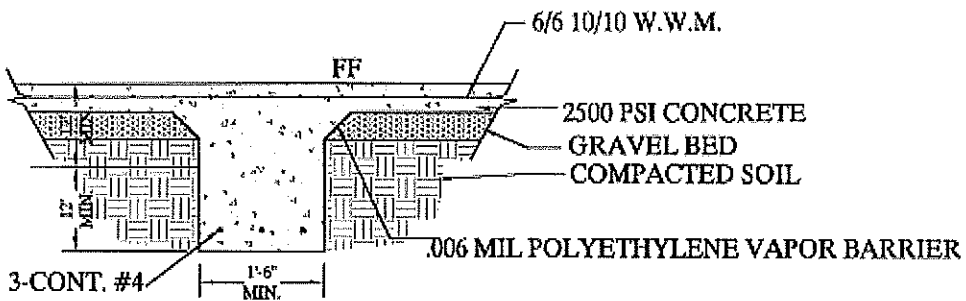
**TYPICAL FOOTING-SLAB DETAILS  
FOR  
DAUPHIN ISLAND, ALABAMA**



TYPICAL FOOTING-SLAB ON GRADE



TYPICAL MONOLITHIC FOOTING-SLAB ON GRADE



TYPICAL MONOLITHIC GRADE BEAM-SLAB ON GRADE

P.8

ELECTRICAL ATTACHMENT

Alabama Power Co. uses aluminum wire on Dauphin Island. To facilitate proper connection to their lines – 3 solid aluminum strands of the proper rated wire shall be used from the meter base through the weather head. If the meter base is so constructed as to allow aluminum or copper wiring from the meter base to the panel it shall be the home owner’s choice of wire type. All wiring must be properly sized for the load carried.

Electrical Connections will not be approved for any house closer than 25’ from any body of water at high tide without the home owner executing a hold harmless agreement from the Town. Homes which become closer than 25’ are subject to having power disconnected.

**CONSTRUCTION SITE TRASH CONTAINERS**

Acceptable

Debris containers are:

- 1) Commercial Dumpsters
- 2) Dump Truck
- 3) Utility Trailer with minimum 3’ sides

All of the above shall be covered by a tarp that is tied down at all four corners, when transporting. All sites should be clear of loose debris **DAILY**.

This ordinance shall take effect August 26, 2013 and be in force from and after its passage, the public welfare requiring it.

PASSED AND APPROVED BY THE TOWN OF DAUPHIN ISLAND on the 10 day of, October 2018.

1<sup>st</sup> Reading \_\_\_\_\_

Posted \_\_\_\_\_

Public Hearing \_\_\_\_\_

2<sup>nd</sup> Reading \_\_\_\_\_

Adopted This \_\_\_\_\_

Posted \_\_\_\_\_